

RESOLUTION #42 (2024-2025)

RESOLUTION APPROVING RETRACEMENT PLAT OF SURVEY FOR 106 3RD AVE – DIVIDING CURRENT SINGLE LOT BACK INTO THE 2 ORIGINAL LOTS

WHEREAS, Homes by Advantage, LLC are the owners of the Property located at 106 3rd Ave in Slater, Iowa and Identified with:

Parcel ID number: 13-30-483-100

AND commonly known as: 106 3rd Ave

AND WHEREAS, the owners wish to divide the current single lot back into the 2 original lots as shown in the attached map – known as a retracement plat of survey; and

NOW LET IT BE RESOLVED that the Slater City Council does hereby approve the Retracement Plat of Survey as shown and described on the attached maps.

ADOPTED this 10th day of March, 2025.

Taylor Christensen, Mayor

ATTEST:

Jennifer Davies, City Administrator/Clerk

SITE MAP

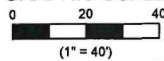
Record Description (Instrument #: 2023-08817): Lots 1 and 2, Block 22, Jenk's Second Addition to Slater, Story County, Iowa.



LEGEND

- FOUND YELLOW CAPPED 1/2" REBAR #7434
- FOUND 1/2" REBAR
- ✕ FOUND CUT 'X' IN CONCRETE SIDEWALK
- FOUND PINK CAPPED 1/2" REBAR #29298
- () RECORD DIMENSION

GRAPHIC SCALE



BEI PROJECT #: S25011

DRAFTED BY: AJ

SURVEYED: JAN, 2025 BY AJ



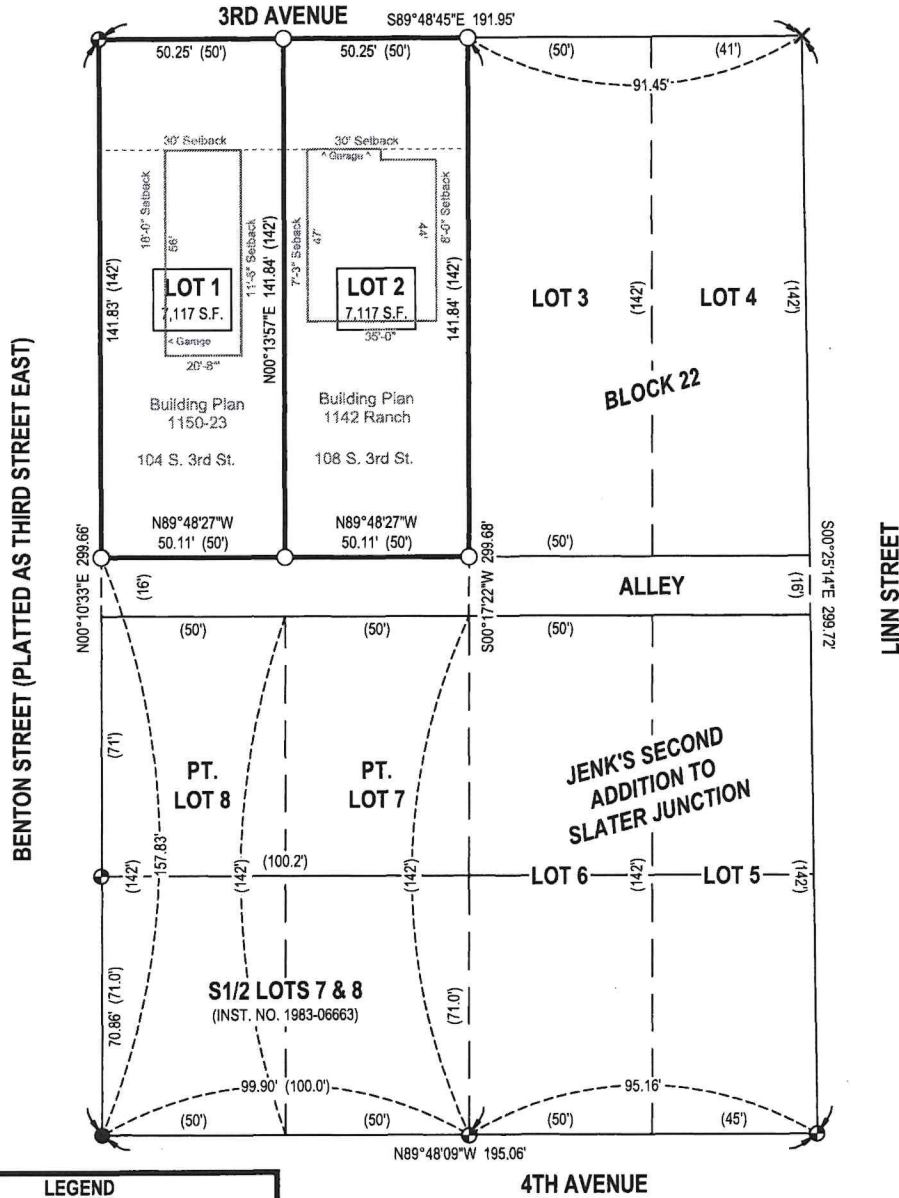
Civil Engineering - Land Surveying
Landscape Architecture - Architecture

INDEX LEGEND

Location: Subdivision: Jenk's Second Addition to Slater Junction
 Block: 22 - Lots: 1 & 2
 Requestor: Renaud Engineering, LLC - Attn: Scott Renaud
 Proprietor: Homes by Advantage, LLC
 Surveyor: Stacy D. Tegtmeier, P.L.S. #29298
 Prepared by Beck Engineering, Inc.
 & Return to: 2480 Berkshire Parkway, Suite B
 Clive, Iowa 50325
 info@beck-engineering.net (515) 330-1538

RETRACEMENT PLAT OF SURVEY

Record Description (Instrument #: 2023-08817): Lots 1 and 2, Block 22, Jenk's Second Addition to Slater, Story County, Iowa.

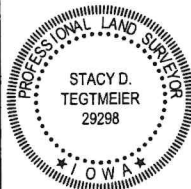


LEGEND

- FOUND YELLOW CAPPED 1/2" REBAR #7434
- ⊗ FOUND 1/2" REBAR
- ⊗ FOUND CUT 'X' IN CONCRETE SIDEWALK
- SET PINK CAPPED 1/2" REBAR #29298
- () RECORD DIMENSION

SURVEYOR'S NOTES:

- BEARINGS ARE ASSUMED TO BEAR AS SHOWN FROM THE IOWA REGIONAL COORDINATE SYSTEM, ZONE 8: AMES - DES MOINES. ALL DISTANCES MEASURED USING THE U.S. SURVEY FOOT.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A FULL TITLE SEARCH. ADDITIONAL EASEMENTS, RECORDED OR UNRECORDED, NOT SHOWN ON THIS PLAT MAY EXIST.
- ANY DOCUMENTS REFERENCED ON THIS PLAT OF SURVEY ARE LOCATED IN THE STORY COUNTY RECORDER'S OFFICE UNLESS NOTED OTHERWISE.

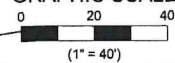


I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Date: 12/12/25 *Stacy D. Tegtmeier*
 Stacy D. Tegtmeier, P.L.S. #29298

License renewal date: 12/31/2025
 Pages certified by this seal: 1

GRAPHIC SCALE



BEI PROJECT #: S25011
 DRAFTED BY: AJ
 SURVEYED: JAN, 2025 BY AJ



Civil Engineering - Land Surveying
 Landscape Architecture - Architecture

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

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35 YR. ARCH. SHINGLES
OVER 30# FELT
AND 7/16" OSB SHTG.

FASCIA
W/VENTED SOFFIT

SHAKE ACCENT SIDING

CORNER TRIM

LAP SIDING
OVER HOUSEWRAP
AND 7/16" OSB SHTG.

WDW./DR. TRIM
FRONT ONLY

2x8 CEDAR WRAPPED
WD. COL.

TOP OF UPPER
LEVEL WALL
(17'-0 1/2")

TOP OF UPPER
LEVEL FLOOR
(8'-11 3/8")

TOP OF MAIN
LEVEL WALL
(8'-1 1/2")

TOP OF MAIN
LEVEL FLOOR
(0'-0")

TOP OF
FOUNDATION
(-0'-0")

TOP OF FROST
FOOTING
(-4'-0")

8'-11 3/8"

10'-0"

4'-0"

FRONT ELEVATION

3/8" = 1'-0"

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BEISSER
CORPORATION
10000 W. 10TH AVENUE
DENVER, CO 80231
TEL: 303.751.1000

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HOMES BY ADVANTAGE
2-STORY SPEC

DATE
2-13-2025
REVISED

SCALE:
3/8" = 1'-0"

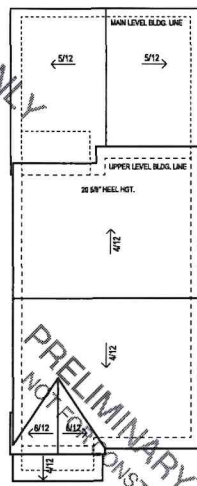
SHEET:
A2

FRONT
PLAN NO.
1150-23

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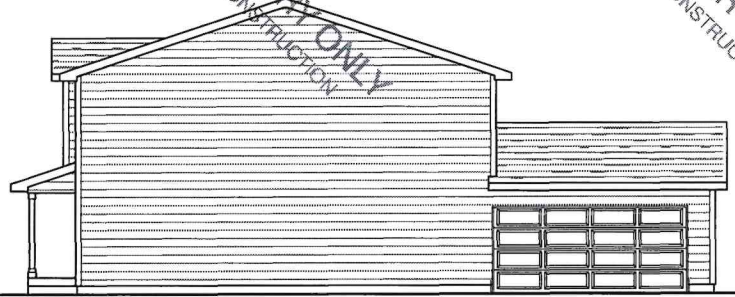
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ROOF PLAN
1/8" = 1'-0"

ALL 5/12 PITCHES HAVE A 6" HEEL NOT.
ALL 4/12 PITCHES HAVE A 7 3/8" HEEL NOT.
ALL 5/12 PITCHES HAVE A 6 5/8" HEEL NOT
ALL GABLE END OVERHANGS ARE 12"

PLEASE NOTE THAT THIS ROOF PLAN IS PROVIDED AS A REFERENCE TOOL ONLY - THE TRUSS MANUFACTURE IS RESPONSIBLE FOR PROVIDING A DETAILED TRUSS LAYOUT WITH ALL ORDER PLACEMENT, HANGER DETAILS, ETC. - ANY QUESTIONS ARE TO BE DIRECTED TO THE TRUSS MANUFACTURE, BUILDERS, AND/OR THE DESIGNER. HOMEOWNER HAS FINAL RESPONSIBILITY FOR ALL ASPECTS OF THIS PLAN. TRUSS MANUFACTURE TO ADJUST HEEL HEIGHTS AS NEEDED TO FLUSH OUT OVERHANGS. CO. HOWEVER, NOTE THAT SOME ADDITIONAL TRUSSMAYS MAY BE USED ON THIS DESIGN AND SHOULD NOT BE INTERFERED WITH.



RIGHT ELEVATION
3/16" = 1'-0"

- CONSTRUCTION NOTES:
- DESIGN DRAWING IN ACCORDANCE WITH I.B.C. AND TYPICAL BUILDING PRACTICES IN CENTRAL IOWA.
 - TRUSS MFR. TO SUPPLY LAYOUT/DETAILS ON ANNUAL PRODUCTS THEY ARE PROVIDING. THOSE LAYOUTS/DETAILS WILL HAVE PRECEDENCE OVER ANY OTHERS BEYOND THESE TRUSS DESIGN TO BE BASED ON ILL. 307C OR 1030C OR 1030C.D. IN LOADING OR OTHER DETAIL ON ROOF BASED OFF OF ROOF #1 AND #2 (SEE ALSO I.B.C.).
 - FLOOR SYSTEM ON THIS PLAN TO BE CONSTRUCTED OF ENGINEERED JOISTS WITH LANDING BASED ON 16" O.C. OR 18" O.C. AT A MINIMUM REFLECTING ANY LATEST QUESTIONABLES CAN BE REFERRED TO THE DESIGNER OR L.L. MFR.
 - WOOD JOIST BEAMS ARE SIZED AS SHOWN IN THE GIBBS AT A MINIMUM REFLECTING ANY LATEST QUESTIONABLES CAN BE REFERRED TO THE DESIGNER OR L.L. MFR.
 - ANNUAL EXTERIOR DIMENSIONS RUN TYPICAL OUTSIDE OF STUD.
 - INTERIOR DIMENSIONS RUN TYPICAL TOP OF STUD AND CENTER OF BEAM.
 - ALL HEADERS IN 24" WALL TO BE DOUBLE 2X12, UNLESS NOTED OTHERWISE.
 - ALL HEADERS IN 36" WALL TO BE TRIPLE 2X12, UNLESS NOTED OTHERWISE.
 - PROVIDE PROPER BEARING UNDER ALL HEADERS/SILLING/POSTS ETC.
 - RESIST ALL ANNUAL CANTILEVERS AND BUNG CORNERS, WALL VOES, ETC.
 - PROVIDE SOLID BLOCKING BEHIND ALL TOWER BARR, HANGAR, BRICK, CLOSET ROD SUPPORTS, CANTILEVER ROD SUPPORTS, ETC.
 - WOOD JOIST BEAMS ARE FOR UNIT SIZE IN FEET (e.g. 240 = 24" x 8'-0").
 - ALL WINDOWS/DOORS TO BE CONFIRMED BY BUILDERS/HOMEOWNER BEFORE ORDERING.
 - IF ANY ALL OPENINGS/TERRACE WALLS EXPOSED IN BASEMENT WILL BE DETERMINED BY THE SLOPE OF LAND AFTER DIGNATION.
 - ALL DESIGN CHANGES TO THIS PLAN WHICH AFFECT ANY STRUCTURAL MEMBERS SHOULD BE APPROVED BY THE DESIGNER OR A STRUCTURAL ENGINEER.
 - BUILDERS/HOMEOWNER HAVE FINAL DECISION ON ALL ASPECTS OF PLAN.
 - ANNUAL HEADERS AND BEAMS ARE CROPPED UNLESS NOTED OTHERWISE.

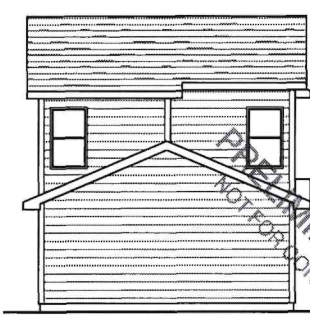
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LEFT ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

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NOT FOR CONSTRUCTION

PRELIMINARY ONLY
NOT FOR CONSTRUCTION



BEISSER DESIGN PARTNERSHIP
2025 W. 14TH ST., IOWA CITY, IA 52242
319.335.0000

UNIVERSITY OF IOWA
ALANSON
1000 UNIVERSITY DRIVE
IOWA CITY, IA 52242

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HOMES BY ADVANTAGE
2-STORY SPEC

DATE
2-13-2025
REVISED

SCALE:
As Noted

SHEET:
A3
REAR A SIDES

PLAN NO.
1150-23

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PRELIMINARY ONLY
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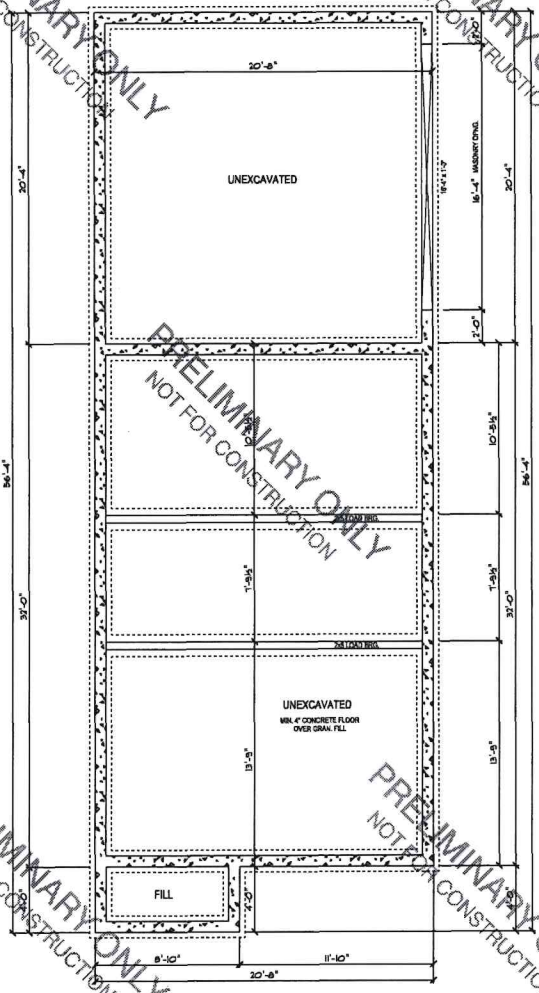
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PRELIMINARY ONLY
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FOUNDATION PLAN
SLAB ON GRADE

- NOTES:
- 8" x 8" REINFORCED CONCRETE WALLS ON A 16" X 8" CONTINUOUS FOOTING WITH 2#4 REINFC. CONTINUOUS.
 - FOOTING CALCULATIONS ARE BASED ON A 2,000 PSF SOIL CAPACITY.
 - ALL JOISTERS AND BEAMS ARE BELOW DECK UNLESS NOTED "FLUSH".
 - EXTERIOR DIMENSIONS ARE TO OUTSIDE OF CONCRETE. INTERIOR DIMENSIONS ARE TO EDGE OF STUD AND CENTER OF BEAM.
 - DESIGN CRITERIA IS BASED ON LOCAL BUILDING CODES AND PRACTICES AND THE I.R.C.
 - DESIGN LOADINGS IS AS FOLLOWS:
 ROOF: 30 PSF LIVE + 20 PSF DEAD = 50 PSF TOTAL
 FLOOR: 40 PSF LIVE + 10 PSF DEAD = 50 PSF TOTAL (MIN. DEFLECTION IS L/400).
 WIND: 115 PSF (DWA)
 • ANY CHANGES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 • MICRO LAMIN. BEAMS ARE SIZED AS 12#600 TO BE SERIES AT A LOW DEFLECTION.



BEISSER ENGINEERS & ARCHITECTS
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112

ARCHITECT
 J. ALARSEN

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HOMES BY ADVANTAGE
2-STORY SPEC

DATE: 2-13-2025
 REVISIONS:

SCALE: 1/4" = 1'-0"

SHEET: **A4**

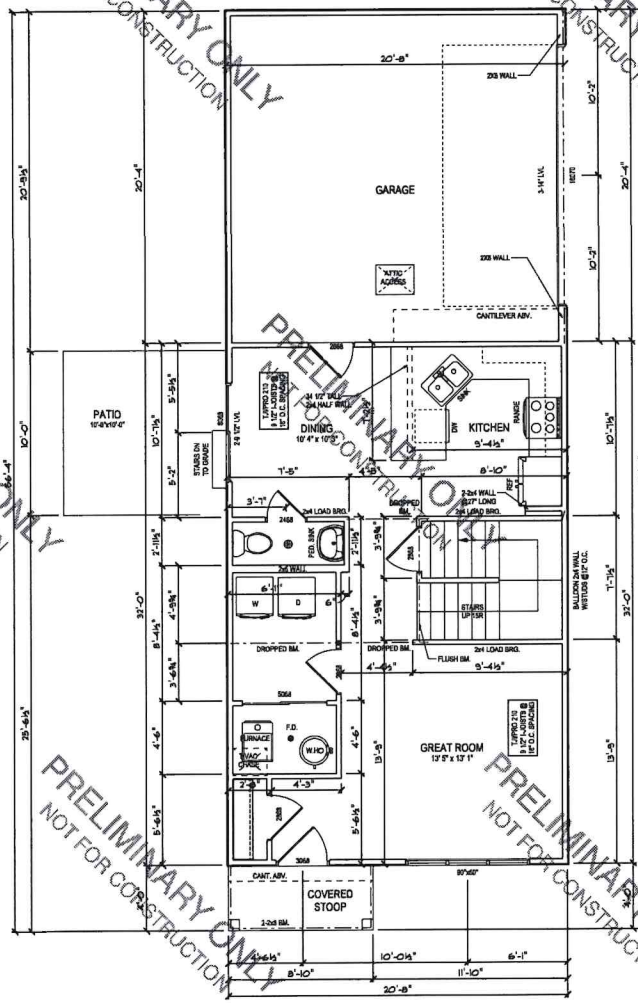
FOUNDATION
 PLAN NO. 1150-23

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MAIN FLOOR PLAN

661 SQ. FT.
420 SQ. FT. GARAGE

- NOTES:
- * 1/2" x 1" W. WALLS WITH 7/16" SHEATHING.
 - * EXTERIOR DIMENSIONS ARE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE TO INSIDE OF STUD AND CENTER OF SEAM.
 - * ALL WINDOWS AT EXTERIOR OPENINGS ARE 2-X1/2 WITH 1/2" FILLER UNLESS NOTED OTHERWISE.
 - * ALL HANGERS AND BEAMS ARE BELOW DECK (DROPPED) UNLESS NOTED "FLUSH".
 - * PROVIDE GOOD BLOCKING BEHIND ALL CURTAIN RODS, TOWEL BARS, RAILING, ETC.
 - * INSULATE, VAPOR BARRIER, AND SHEET ALL WALL CAVITIES BEHIND TUB AND/OR SHOWER ENCLOSURES AND UP TO THE DECK OF whirlpools.
 - * TRUSS MANUFACTURER TO SUPPLY ROOF-LAYOUT WITH GIRDER LOCATIONS DETERMINING SPECIFY AND SUPPLY ALL GIRDER CONNECTIONS.
 - * WINDOW NOMENCLATURE FOR UNIT SIZE IN FEET (W x H) (E.g. 2'-0" x 5'-0").
 - * VERIFY ALL WALL HEIGHTS WITH TRUSS MFR. PLANS.
 - * MICROLAM LVL BEAMS ARE SIZED #41 2800 F3 1 SE SERIES AT A L/860 DEFLECTION.

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PRELIMINARY ONLY
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BEISSER CONSTRUCTION
2810 10th Street
Calgary, Alberta T2C 1A7
403.243.8888

ALLEN LARSEN
2810 10th Street
Calgary, Alberta T2C 1A7
403.243.8888

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NOT FOR CONSTRUCTION

HOMES BY ADVANTAGE
2-STORY SPEC

DATE: 2-13-2025
REVISED:

SCALE: 1/4" = 1'-0"
SHEET:

A5
MAIN FLOOR
PLAN NO. 1150-23

PARTIAL ONLY
CONSTRUCTION

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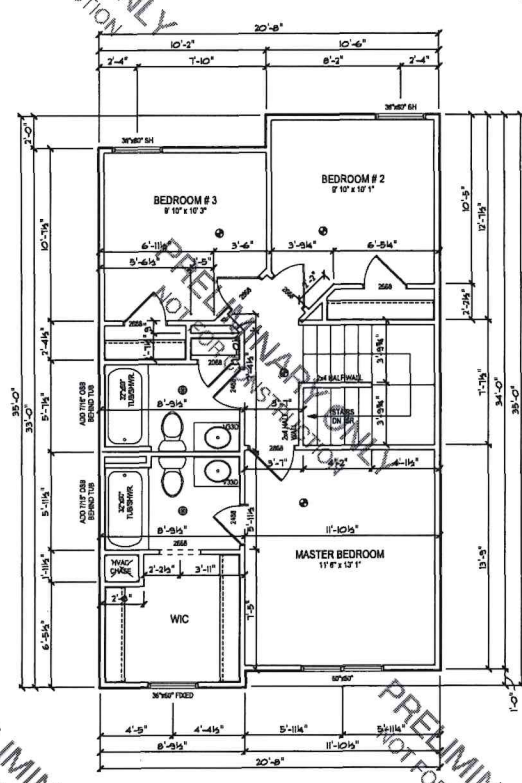
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PRELIMINARY ONLY
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PRELIMINARY ONLY
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UPPER FLOOR PLAN - A
628 SQ. FT.

- NOTES:
- * 1 1/2" WALLS WITH 7/16" SHEATHING.
 - * ALL HEADERS AT EXTERIOR OPENINGS SHALL BE 2-2X12 WITH 12" FLICK, UNLESS NOTED OTHERWISE.
 - * ALL HEADERS AND BEAMS ARE BELOW DECK UNLESS NOTED "FLUSH".
 - * PROVIDE SOLID SLOTTING BEHIND ALL CURTAIN RODS, TOWEL BARS, ETC.
 - * INSULATE, VAPOR BARRIER AND SHEET ALL WALL CAVITIES BEHIND TUB AND/OR SHOWER ENCLOSURES AND UP TO THE DECK OF WHIRLPOOLS.
 - * PROVIDE ADEQUATE BRACING UNDER ALL HEADERS, ORDERS, AND BEAMS.
 - * EXTERIOR DIMENSIONS ARE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE TO EDGES OF STUD AND CENTER OF BEAM.
 - * WINDOW NOMENCLATURE IS JOHNSON UNIT SIZE IN FEET (E.G. 2850 = 2'-8" x 5'-0").
 - * VERIFY ALL WALL HEIGHTS WITH TRUSS AND PLAN.
 - * MICROLAM, BEAMS ARE SIZED AS 1200FS, SEE SERIES AT A LOGO DEFLECTION.
 - * VERIFY ALL WALL HEIGHTS WITH TRUSS AND PLAN.



HOMES BY ADVANTAGE
2-STORY SPEC

DATE	2-13-2025
REVISED	
SCALE:	1/4" = 1'-0"
SHEET:	A6
UPPER FLOOR	
PLAN NO.	1150-23



Grimes, Iowa
resberggroup@gmail.com
Phone: 515-231-5386

MEMBER
AIA
ARCHITECTS
RESBERG GROUP DESIGN
BETHUNE HARRIS

Project ID:
24-2413

Drawn by: KMR

REVIEW
SET

Rev. Date : 05-02-24
Rev. Date : 05-15-24
Rev. Date :
Rev. Date :
Rev. Date :

BID
Date/SET:
PERMIT
Date/SET:

New Residential Home For:
1142 RANCH
Project Location:
Dallas Center, Iowa

RESBERG GROUP DESIGN
ARCHITECTURE ENGINEERING
CONSTRUCTION
BASE THE OWNER
AND/OR CONTRACTOR
CLAIMS OF LAWSUIT FOR ANY
CONSTRUCTION OF THE
DIMENSION, STRUCTURE
AND DETAILS IN THESE
RESBERG GROUP DESIGN
AND ANY DISCREPANCIES.

Cover Page
A.0
Scale: As indicated

Name	SAFT
CEILING	1142 R
WALL	1142 W
FLOOR	1142 F
DOOR	1142 D
WINDOW	1142 WND
MECHANICAL	1142 MECH
ELECTRICAL	1142 ELEC
PLUMBING	1142 PLUMB

Drawing List	
A.0	Cover Page
A.1	Floor Plan
A.2	Section
A.3	Elevation
A.4	Foundation
A.5	MECHANICAL
A.6	ELECTRICAL
A.7	PLUMBING
A.8	MECHANICAL
A.9	ELECTRICAL
A.10	PLUMBING
A.11	MECHANICAL
A.12	ELECTRICAL
A.13	PLUMBING
A.14	MECHANICAL
A.15	ELECTRICAL
A.16	PLUMBING

NOTE: THE DRAWING AND ELEVATION SET AS A REFERENCE TO THE INFORMATION CONTAINED ON THE DRAWING SHEETS. THE INFORMATION CONTAINED ON THE DRAWING SHEETS IS THE SOLE RESPONSIBILITY OF THE ARCHITECT.

ABBREVIATIONS

ALL AREAS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:

- ALL INTERIORS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:
- ALL EXTERIORS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:

CONTRACTOR'S RESPONSIBILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWING.

GENERAL NOTES

1. REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETE INFORMATION.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL OTHER APPLICABLE CODES.



1142 RANCH

GENERAL REQUIREMENTS

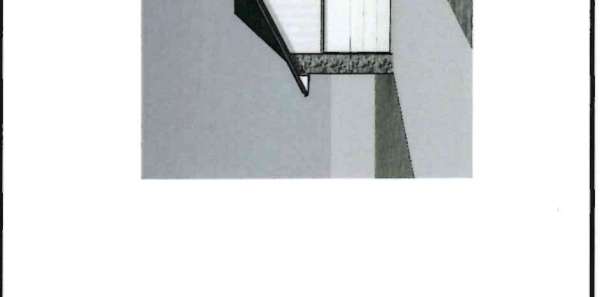
ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL OTHER APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

- 1. ALL INTERIORS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:
- 2. ALL EXTERIORS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:
- 3. REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETE INFORMATION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

CONSTRUCTION SPECIFICATIONS

SECTION	DESCRIPTION	REMARKS
01000	GENERAL NOTES	REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETE INFORMATION.
02000	CONCRETE	ALL CONCRETE SHALL BE PUMPED TO THE TOP OF THE FORMS.
03000	WOOD	ALL EXTERIOR WOOD SHALL BE TREATED WITH A PRESERVATIVE.
04000	METALS	ALL METALS SHALL BE GALVANNEAL STEEL UNLESS OTHERWISE NOTED.
05000	PAINTS AND COATINGS	ALL INTERIOR SURFACES SHALL BE PAINTED WITH A MEDIUM GLOSS FINISH.

- 1. ALL INTERIORS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:
- 2. ALL EXTERIORS SHALL BE FINISHED WITH THE FOLLOWING FINISHES UNLESS OTHERWISE NOTED ON THE DRAWING:
- 3. REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETE INFORMATION.



SECTION	DESCRIPTION	REMARKS
06000	MASONRY	ALL MASONRY SHALL BE COMPLETED WITH A COURSE OF BRICKS OR TILES AT THE TOP.
07000	ROOFING	ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC.
08000	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)	REFER TO ALL MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR DETAILED INFORMATION.

CONTRACTOR'S RESPONSIBILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWING.

GENERAL NOTES

1. REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETE INFORMATION.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL OTHER APPLICABLE CODES.

SYMBOL	DESCRIPTION
1	VIEW NAME AND SCALE OF ELEVATION
2	SECTION NAME AND NUMBER
3	SECTION CUT FILL
4	BUILDING SECTION REFERENCE

SYMBOL	DESCRIPTION
5	ROOF RISE OVER RUN
6	STRUCTURAL HEAD
7	DESIGNER'S MARK
8	ARCHITECT'S MARK
9	CONTRACTOR'S MARK

SYMBOL	DESCRIPTION
10	CEILING TAG
11	DOOR TAG
12	WINDOW TAG
13	ELEVATION REFERENCE

SYMBOL	DESCRIPTION
14	BUILDING SECTION REFERENCE

SYMBOL	DESCRIPTION
15	CONTRACTOR'S MARK

SYMBOL	DESCRIPTION
16	MASONRY

SYMBOL	DESCRIPTION
17	ROOFING

SYMBOL	DESCRIPTION
18	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)

SYMBOL	DESCRIPTION
19	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)

SYMBOL	DESCRIPTION
20	MASONRY

SYMBOL	DESCRIPTION
21	ROOFING

SYMBOL	DESCRIPTION
22	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)

SYMBOL	DESCRIPTION
23	MASONRY

SYMBOL	DESCRIPTION
24	ROOFING

SYMBOL	DESCRIPTION
25	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)

SYMBOL	DESCRIPTION
26	MASONRY

SYMBOL	DESCRIPTION
27	ROOFING

SYMBOL	DESCRIPTION
28	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)

SYMBOL	DESCRIPTION
29	MASONRY

SYMBOL	DESCRIPTION
30	ROOFING

SYMBOL	DESCRIPTION
31	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)

SYMBOL	DESCRIPTION
32	MASONRY

SYMBOL	DESCRIPTION
33	ROOFING

SYMBOL	DESCRIPTION
34	MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)



RIESBERG GROUP DESIGN
 Grimes, Iowa
 riesberggroupdesign.com
 Phone: 515-252-2286

MEMBER
AIA
BID
 NATIONAL ASSOCIATION OF
 BUILDING DESIGNERS

Project ID:
 24-2413

Drawn by: KMR

REVIEW

Rev. SET: 02-02-24

Rev. Date: 03-15-24

Rev. Date:

Rev. Date:

Rev. Date:

BID

Date SET:

PERMIT

Date SET:

DisSET:

New Residential Home For:
 1142 RANCH
 Dallas Center, Iowa

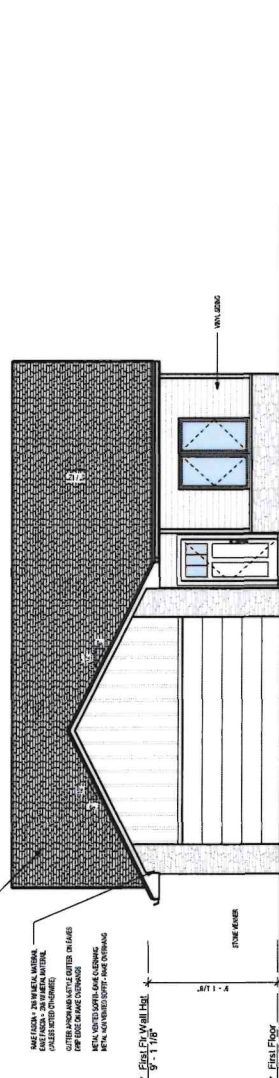
RIESBERG GROUP DESIGN
 ARCHITECTS
 THESE PLANS ARE
 PREPARED BY THE ARCHITECT OR ENGINEER
 ON BEHALF OF THE OWNER
 AND/OR CONTRACTOR
 EMPLOYEES FROM ANY
 OTHER SOURCE THAT
 MAY BE RELYING
 CONSTRUCTION
 AND DETAILS IN THESE
 DIMENSION, STRUCTURE
 RIESBERG GROUP DESIGN
 AND ANY DISCREPANCIES

Elevations

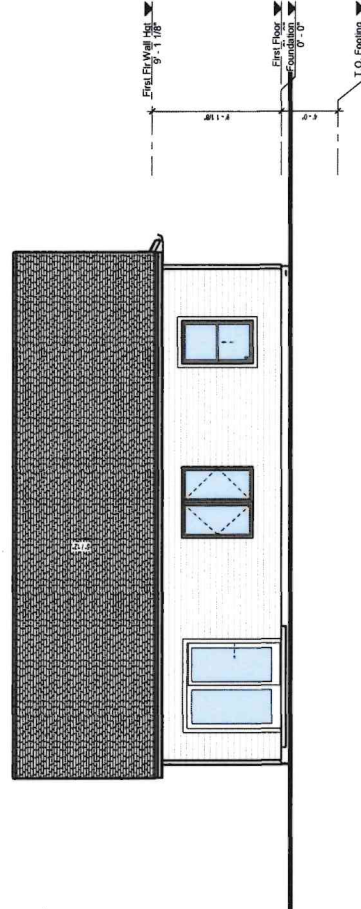
A.1-0
 Scale: 1/4" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL MATERIALS, FINISHES, SPECIFICATIONS, MATERIALS, SHALL BE CLASSIFIED BY THE CONTRACTOR TO BE USED FOR MATERIALS, AND THE CONTRACTOR TO BE USED FOR MATERIALS.
2. FINISHES TO BE INDICATED BY WALL AND ROOF FINISHES AND FINISHES IN THESE PLANS SHALL BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY ALL FINISHES AND MATERIALS WITH THE ARCHITECT.
3. ALL FINISHES SHALL BE CLASSIFIED BY THE CONTRACTOR TO BE USED FOR MATERIALS.
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1 Front Elevation
 A.1-0 1/4" = 1'-0"



2 Rear Elevation
 A.1-0 1/4" = 1'-0"



RESBERG GROUP DESIGN
Grimes, Iowa
resberggroupdesign.com
Phone: 515-245-2006

MEMBER
AIA
BD
AMERICAN INSTITUTE OF
BUILDING DESIGNERS

Project ID:
24-2413

Drawn by: KMR

REVIEW
Rev. Set: 02-05-24
Rev. Date: 03-15-24

Date: SET
PERMIT
DATE:

New Residential Home For:
1142 RAYCH
Project Location:
Dallas Center, Iowa

RESBERG GROUP DESIGN
ARCHITECT OR ENGINEER
THESE PLANS ARE
BASED ON THE OWNER'S
REPRESENTATIONS AND
EMPLOYEES FROM ANY
CONTRACTOR THAT
CONSTRUCTION PROJECT ALL
DIMENSION, STRUCTURE
DETAILS IN THESE
DO NOT CONSTITUTE
RESBERG GROUP DESIGN
AND ANY DISCREPANCIES

Elevations

A.1-2

Scale: As Indicated

GENERAL NOTES:

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GENERAL ELEVATION NOTES:

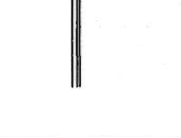
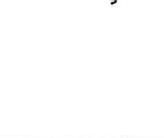
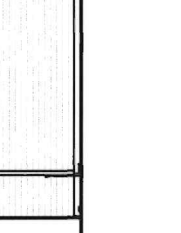
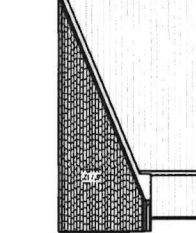
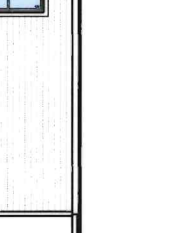
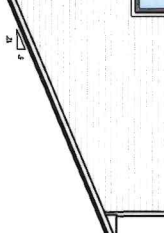
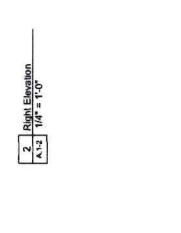
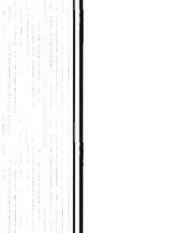
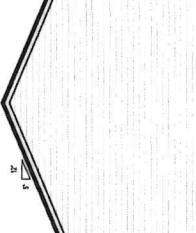
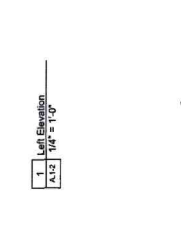
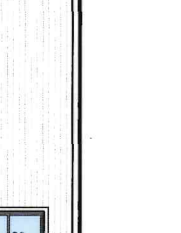
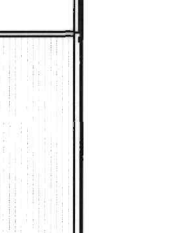
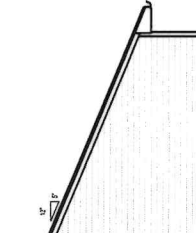
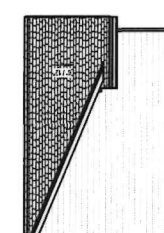
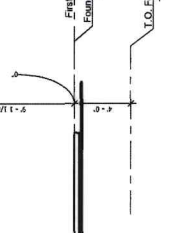
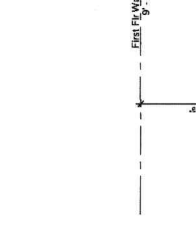
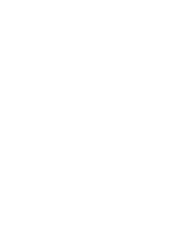
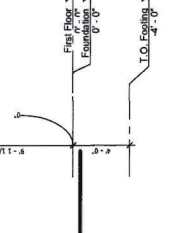
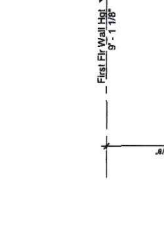
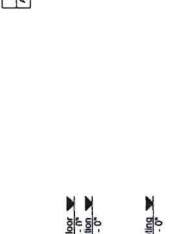
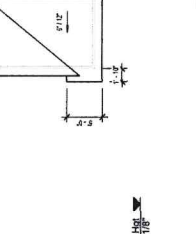
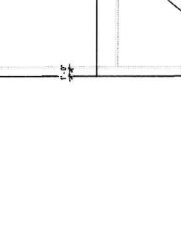
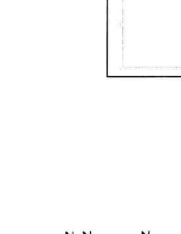
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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



RESBERG GROUP DESIGN
 Grimes, Iowa
 resberggroup@gmail.com
 Phone: 515-262-3386

MEMBER
AI
BID
 ILLINOIS STATE BOARD OF PROFESSIONAL ENGINEERS

Project ID:
 24-2413

Drawn by: KMR

REVIEW
SEI
 Rev. Date : 02-02-24
 Rev. Date : 03-18-24
 Rev. Date :
 Rev. Date :
 Rev. Date :

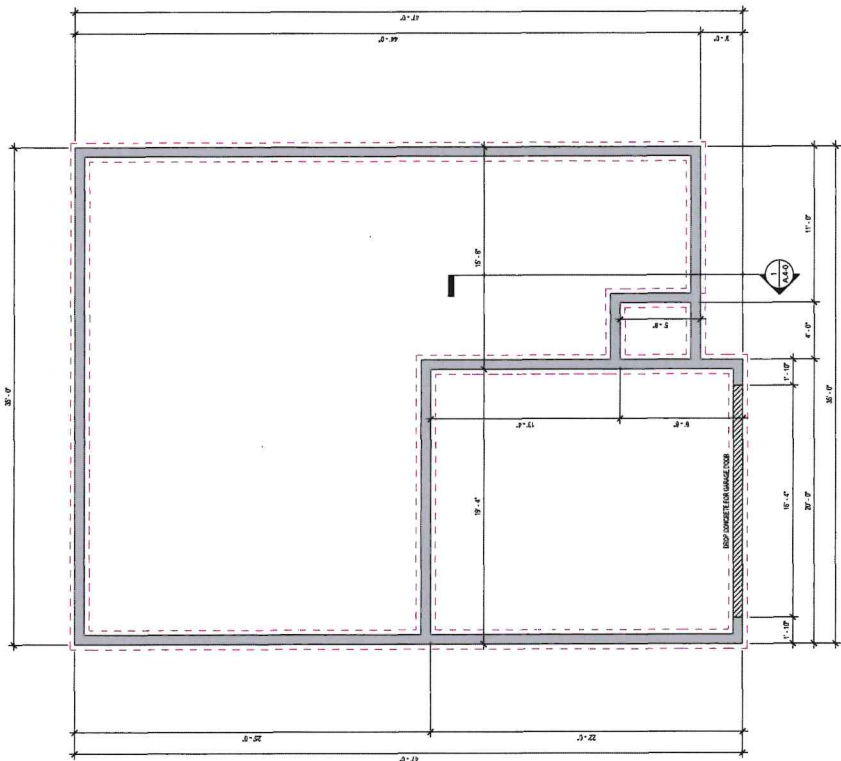
BID
 Date : SET
PERMIT
 Date : SET

New Residential Home For:
 1142 RANCH
 Dallas Center, Iowa

RESBERG GROUP DESIGN
 ARCHITECT & ENGINEER
 THESE PLANS ARE PREPARED BY RESBERG GROUP DESIGN AS ARCHITECT OR ENGINEER IN THE STATE OF IOWA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

Foundation

A.2-0
 Scale: 1/4" = 1'-0"



1. Basement
 A.2-0 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IOWA BUILDING CODE.
2. OWNER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO COMMENCEMENT OF WORK.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE IOWA BUILDING CODE.

Area Schedule

Name	50 FT
Per Floor	425.00 SF
Garage	425.00 SF
First General Paved	50.00 SF
Garage # 3	50.00 SF
	100.00 SF



RESBERG GROUP DESIGN
 Grimes, Iowa
 resberggroup@grimes.com
 Phone: 515-250-3388

MEMBER
A.I.A.
BID
 AMERICAN INSTITUTE OF ARCHITECTS

Project ID:
 24-2413

Drawn by: KMR

REVIEW
SET:
 Rev. Date : 02-02-24
 Rev. Date : 03-16-24
 Rev. Date :
 Rev. Date :
 Rev. Date :

BID
Date SET:
PERMIT
Date SET:

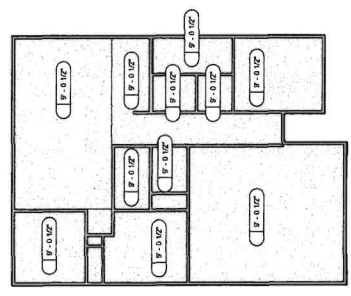
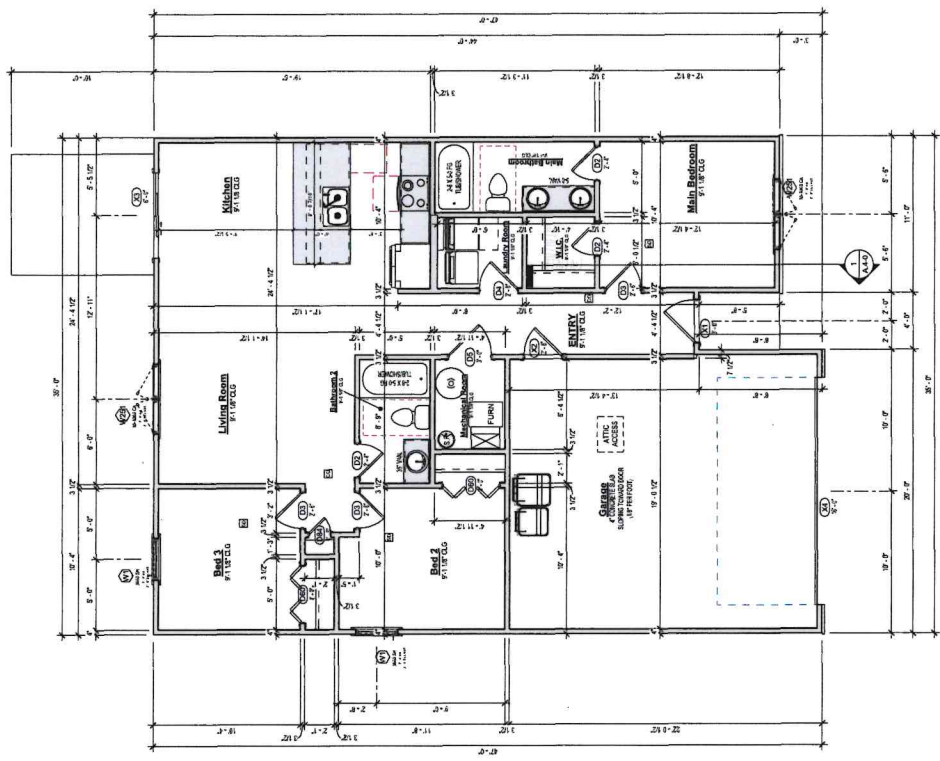
New Residential Home For:
 1142 RANCH
 Project Location:
 Dallas Center, Iowa

RESBERG GROUP DESIGN
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 EMPLOYEES FROM ANY
 CLAIMS OR LITIGATION
 ARISING OUT OF ALL
 DIMENSION, STRUCTURE
 AND DETAILS IN THESE
 PLANS SHALL BE THE
 RESPONSIBILITY OF
 RESBERG GROUP DESIGN
 AND ANY DISCREPANCIES

First Floor

A.2-1

Scale: As Indicated



1 First Floor
 A.2-1 1/8" = 1'-0"

2 First Floor
 A.2-1 1/8" = 1'-0"



RESBERG GROUP DESIGN
Grimes, Iowa
resberg@resberg.com
Phone: 515-252-3386

MEMBER
AI
BID
IOWA BUILDING DESIGN CENTER

Project ID:
24-2413
Drawn by: KMR

REVIEW
SET
Rev. Date : 02-02-24
Rev. Date : 03-16-24
Rev. Date :
Rev. Date :
Rev. Date :

BID
Date, SET:
PERMIT
Date, SET:

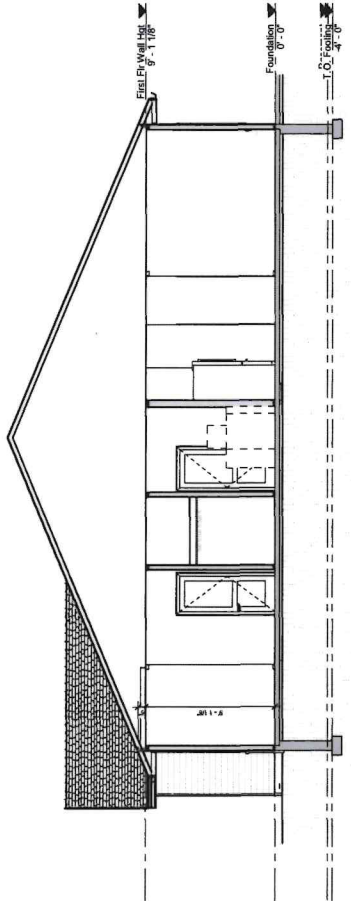
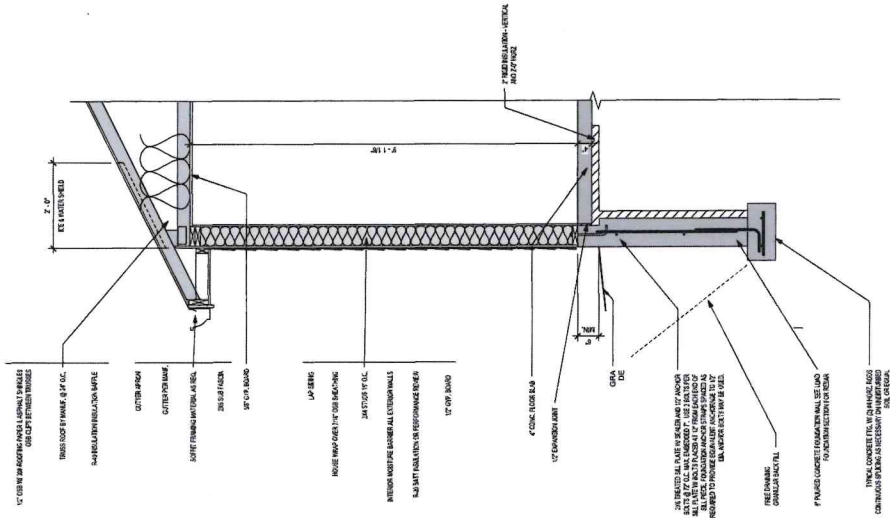
New Residential Home For:
1142 RANCH
Project Location:
Dallas Center, Iowa

RESBERG GROUP DESIGN
IS NOT A LICENSED ARCHITECT
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THESE PLANS ARE PREPARED
ON THE BASIS OF THE OWNER'S
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MAY BE ASSERTED AGAINST
RESBERG GROUP DESIGN OR ANY
EMPLOYEES OR AGENTS OF
RESBERG GROUP DESIGN
AND ANY DISCREPANCIES
BETWEEN THESE PLANS AND
THE ACTUAL CONSTRUCTION
SHALL BE THE RESPONSIBILITY
OF THE CONTRACTOR.

Building
Sections

A.4-0

Scale: As Indicated



1 Section 1
1/4" = 1'-0"